



**AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, JUNE 10, 2020
5:30 PM AT CITY HALL**

To protect against the spread of the COVID-19, the meeting will be held via Videoconference. The public may access/participate in the meeting in the following ways:

- a) By dialing the phone number +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 and when prompted, enter the meeting ID (access code) 886 2008 9534.
- b) iPhone one-tap: +13126266799,,88620089534# or +19292056099,,88620089534#
- c) Join via smartphone or computer using this link: <https://us02web.zoom.us/j/88620089534>.
- d) View the live stream on Channel 15 YouTube using this link: <https://youtu.be/bbpDhjDq6HM> (view only).
- e) Watch on Cedar Falls Cable Channel 15 (view only).

To request to speak when allowed on the agenda, participants must click "Raise Hand" if connected by smartphone or computer, or press *9 if connected by telephone. All participants will be muted by the presiding officer when not actually speaking.

Call to Order and Roll Call

Approval of Minutes

- 1. Planning and Zoning Commission Minutes of May 27, 2020.

Public Comments

Old Business

- 2. **Downtown Site Plan Review – Community Bank and Trust**
Location: 312 W. 1st Street
Applicant: CB&T – owner; VJ Engineering – Civil Engineer; Emergent Architects
Previous discussion: 3/11/20 (plan deferred; new building design is now proposed)
Recommendation: Discussion and Recommend Approval
P&Z Action: Review and make a recommendation to the City Council

New Business

Commission Update

Please note: The June 24 meeting will be held via videoconference

Adjournment

Reminders:

- * June 24 and July 8 Planning & Zoning Commission Meetings
- * June 15 and July 6 City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting (via videoconference)
May 27, 2020
City Hall Council Chambers
220 Clay Street, Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on Wednesday, May 27, 2020 at 5:30 p.m. via videoconference as a precautionary measure to prevent the spread of the COVID-19 virus. The following Commission members were present: Adkins, Hartley, Holst, Larson, Lynch, Prideaux and Saul. Leeper was absent. Karen Howard, Community Services Manager, was also present.

- 1.) Chair Holst noted the Minutes from the May 13, 2020 regular meeting are presented. Ms. Saul made a motion to approve the Minutes as presented. Mr. Hartley seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Hartley, Holst, Larson, Lynch, Prideaux and Saul), and 0 nays.
- 2.) The first item of business was a rezoning request for West Fork Redevelopment from R-1 and A-1 to RP, Planned Residential that was discussed at the last meeting. Chair Holst introduced the item and Ms. Howard provided background information. She explained that the northern 120 acres of the property was rezoned in October 2019 and the owner would like to rezone the entire 177 acres now to RP. She noted that a proposed Master Plan was submitted as well and discussed the details of the master plan. She covered street and trail connectivity, topography and environmental issues, stormwater management, greenspace and parks, and development phasing. Ms. Howard discussed the phasing in more detail explaining the proposed work areas and their locations. She talked about consistency with the Comprehensive Plan, noting that the master plan is consistent and staff feels the proposal is desirable to serve the community.

Ms. Howard spoke about the accessibility to public infrastructure and stated that sanitary sewer will need to be extended. Staff recommends approval of the rezoning request and changes to the master plan.

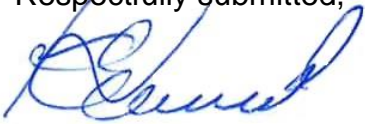
Tim Verheyen, 4818 Briarwood Drive, project engineer from ISG representing the developer, provided brief information regarding utilities on the property and their location.

Ms. Saul made a motion to approve the item. Mr. Larson seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Hartley, Holst, Larson, Lynch, Prideaux and Saul), and 0 nays.

- 3.) As there were no further comments, Ms. Adkins made a motion to adjourn. Mr. Larson seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Hartley, Holst, Larson, Lynch, Prideaux and Saul), and 0 nays.

The meeting adjourned at 5:52 p.m.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "K. Howard", written in a cursive style.

Karen Howard
Community Services Manager

A handwritten signature in blue ink, reading "Joanne Goodrich", written in a cursive style.

Joanne Goodrich
Administrative Clerk



DEPARTMENT OF COMMUNITY DEVELOPMENT

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CULTURAL PROGRAMS**
6510 HUDSON ROAD
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MEMORANDUM

TO: Planning and Zoning Commission
FROM: Karen Howard, Planning & Community Services Manager
DATE: June 3, 2020
SUBJECT: Site Plan Review: 312 W. 1st Street

REQUEST: Request to approve the Site Plan for 312 W. 1st Street (Case #SP19-017)

PETITIONER: Community Bank & Trust, Owner; Kirk Gross Company, Architects; VJ Engineering, Project Engineer

LOCATION: 312 W. 1st Street – Southwest corner of W. 1st Street and Clay Street

PROPOSAL

The applicant proposes to redevelop the property at 312 W. 1st Street with a new bank building. The property is 0.89 acres in area and is located in the C-2, Commercial Zoning district and within the Central Business District Overlay Zoning District (CBD). A previous proposal was submitted for the Planning & Zoning Commission's consideration at the March 11, 2020 meeting. That proposal was withdrawn by the applicant and this new proposed building and site design is now submitted for consideration.

The revised proposal includes the construction of a 2,900 square foot, single story building located at the northeast corner of the lot with its primary street frontage along Clay Street. The existing bank will be demolished and a temporary facility will be established on the site until construction of the new building is completed. Once complete, the temporary facility will be removed and the space converted into parking area and open space. The existing driveway from W. 1st Street will remain as a primary access to the site. Customer parking is located off the west side of the building and a canopy drive-thru is off the south side of the building with a secondary driveway onto Clay Street. Addition parking is located south of the drive-through canopy.



BACKGROUND

In the early 1980s, a restaurant was constructed at 312 W. 1st Street for the Hardee's corporation. Hardee's operated a restaurant on this site for approximately 20 years and in the early 2000s, Community National Bank purchased the property and converted the restaurant into a bank and constructed a small addition off the south side with a new entry off the north side of the building. Community National Bank, now known as Community Bank & Trust is planning to construct a new 2,900 square foot single story branch facility near the northeast corner of the lot. As part of this project, the bank will have a two-lane covered drive-through off the south side of the bank for teller service and ATM.

A courtesy mailing was sent to neighboring property owners on Thursday, June 4th, 2020.

ANALYSIS

All new building construction on properties located in the Central Business District must be reviewed by the Planning & Zoning Commission and approved by the City Council. This proposal qualifies as a substantial improvement under Section 26-189 CBD, Central Business District Overlay. This review entails a site plan review and an architectural design review for architectural compatibility with surrounding structures. Following is a review of the proposed building according to the zoning ordinance standards:

- a) Proposed Use: The proposed banking facility is permitted in the C-2 Commercial District and the CBD Overlay District. **Use permitted.**
- b) Setbacks: This particular property is located in the C-2 Commercial district and in the CBD Overlay District. In the C-2 district and the CBD Overlay, there are no minimum building setback requirements, but in the CBD Overlay there is a maximum building setback of 10 feet from any streetside property line. The following summarizes the building setbacks for the proposed bank building.
 - 8.5 feet from the north lot line along W. 1st Street
 - 17 feet from the east property line along Clay Street. **This exceeds the maximum setback standard in the CBD Overlay District.**
 - The applicant has requested an exception to the maximum setback standard as measured from Clay Street due to the sloping nature of the site and the space needed to provide an accessible and prominent entryway along Clay Street, along with the necessity of avoiding the storm sewer easement that cuts across the northeast corner of the site. The zoning ordinance allows such a request to be considered if there are characteristics of the site or building that makes it difficult or infeasible to meet the requirements of the CBD Overlay.
 - According to City Code Sec. 26-189(l), to be granted an exception the applicant must:
 - Provide a detailed explanation of why the specific standard cannot be met;

- show how the proposed building is uniquely designed to fit the characteristics of the site and the surrounding neighborhood; and is consistent with the purpose and intent of the CBD Overlay and will not detract from or be injurious to other properties in the vicinity;

The Planning & Zoning Commission or City Council may require an alternative design solution that is consistent with the intent of the standard being modified.

- Staff finds in this instance that the sloping nature of the site, the small size of the building, and the constraints on the buildable area of the site, due to the location of the storm sewer easement, make it difficult to meet the standard. Furthermore, staff finds that that the large stair and stoop and accessible ramp creates a prominent and accessible means of access to the building from Clay Street. **Therefore, Staff recommends approval of this exception to the maximum setback standard.**

- Approximately 95 feet from the west property line
- 135 feet from the south property line to the edge of the drive through canopy. While this side of the building faces toward 2nd Street, the bank has indicated their intention to make the southern portion of the lot available for additional development. The south side of the bank facility will no longer be visible from 2nd Street when the proposed additional development occurs, so staff considers this a temporary condition, so the south façade is not considered a street-facing façade for purposes of this review.

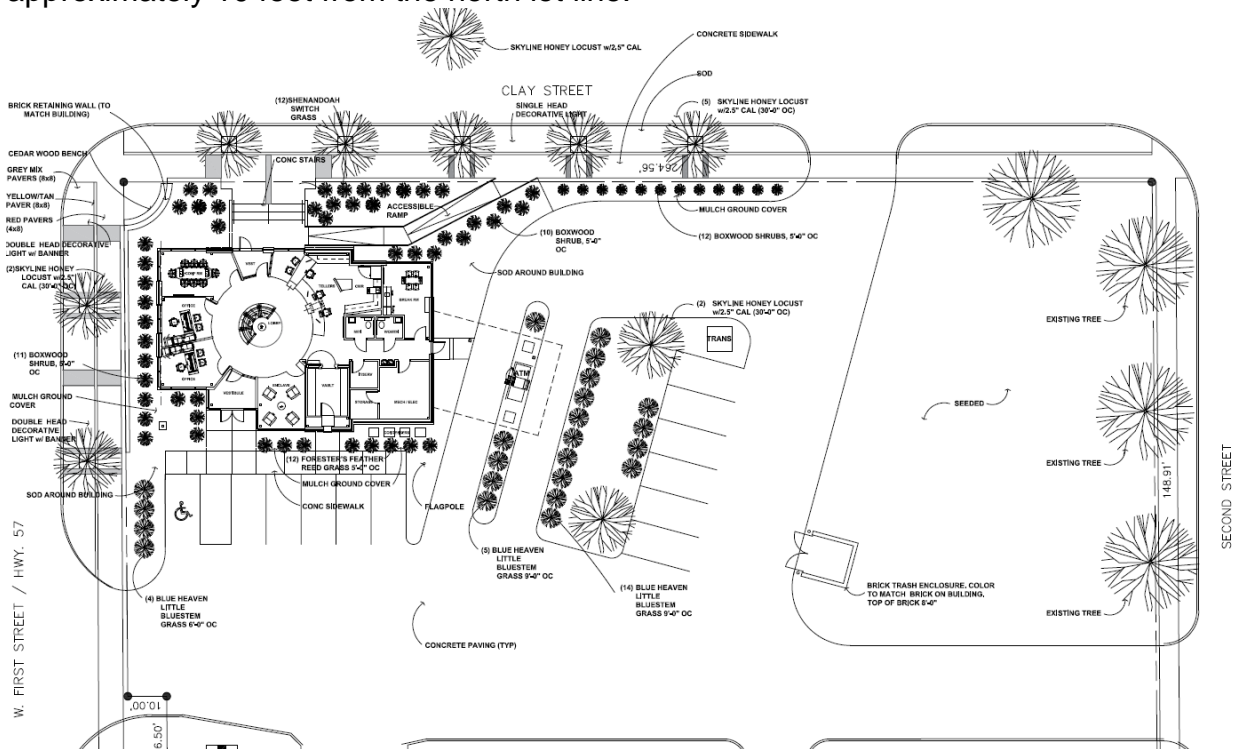
All setbacks meet the standards, except the maximum setback standard along Clay Street and the temporary situation with the setback from 2nd Street. Staff recommends approval of an exception based on the findings noted above.

- c) Access/Parking: The access location along W. 1st Street will remain in place after the construction of the new bank building. This access provides a north/south driveway from W. 1st Street to W. 2nd Street. There is an access easement over this existing drive, which will be retained to provide cross access to the neighboring property to the west. The existing driveway from Clay Street will also remain in place.

The site plan shows a customer drive-through with sheltering canopy off the south side of the building. Customers will circulate through the drive-through from west to east and exit to Clay Street through the east driveway. The drive-through provides adequate lane widths and room to maneuver the vehicles to exit the site. Per city code a bank drive-through must “provide three stacking spaces per teller” (Sec. 26-220(b)(4)). The proposal meets that requirement.

This property is located in the CBD overlay district, which does not require parking for commercial uses. However, customer and employee parking is provided on the site. The plan shows 12 stalls with 6 stalls, including a handicapped space along the west side of the building for customers and 6 stalls along the south side of the drive-through canopy for the employees. **Parking is not required, but is provided.**

- d) Open Space/Landscaping: There are no open green space requirements in the C-2 Commercial district. However, a parking lot must provide a minimum setback of 5 feet from the public right of way and screen parking areas from view of the public right-of-way. The access lane off the east side of the drive-through canopy is 5 feet from the east lot line and the parking stalls off the west side of the building are approximately 10 feet from the north lot line.



A continuous row of vegetative plantings are needed to screen the parking areas from the adjacent roadways. The landscaping plan shows a row of bluestem grasses along W. 1st Street and boxwood shrubs along Clay Street. Additional plantings are proposed along the west side of the building and the drive-through islands with feather reed grasses and bluestem grasses. There is also an area with switch grasses along Clay Street between the public sidewalk and access ramp to the patio area. Two honey locust trees are planted in the larger landscaped island south of the drive-through. Seven street trees are included in the public sidewalk area as part of the applicant's streetscape plan for this site.

The site plan also identifies improvements made to the public sidewalk area along W. 1st Street and Clay Street. The sidewalk along W. 1st Street will be constructed

with new brick pavers, street trees in grates, and a double-head decorative light with banner at the corner in accordance with the downtown streetscape plan. The current site plan shows a second double-head decorative light in the middle of the block on 1st Street. To be consistent with the streetscape plan, this should be switched to a single head light with banner pole. The City will work with the developer on the final layout of the streetscape elements to ensure they meet City specifications and placement requirements.

The sidewalk along Clay Street will be constructed of concrete with brick paver inserts, and street trees planted in a landscaped parkway between the sidewalk and the curb. A single-head decorative light will be installed mid-block along Clay Street. The City will work with the developer on the final layout of the brick pavers, sidewalk, and parkway design to be consistent with the Downtown Streetscape Plan. This development is an extension of the streetscape design that will be installed along Main Street and other areas of downtown as redevelopment occurs. It should be noted that decorative streetscape elements will not be installed in the sidewalk area that is south of the driveway on Clay Street at this time. It is anticipated that within approximately two years, there will be additional development proposed in the southern portion of the lot. Rather than install the decorative streetscape elements at this time and risk damage during redevelopment, staff is supportive of postponing installation of the streetscape. A timeline should be established in the development agreement to ensure eventual compliance. **Open Space/Landscaping requirements are satisfied.**

- e) Sidewalks: With construction of the new building, pedestrian access is provided along Clay Street to the east entrance of the bank. Due to the topography of the site, the entrance is elevated above the public sidewalk with steps and a handicapped accessible ramp up to a large stoop. **Sidewalk accommodations satisfied.**
- f) Building Design: Section 26-189(i), Central Business Overlay District requires design review of various elements to ensure that the proposed improvements are architecturally compatibility with surrounding structures.
 - a) **Proportion**: *“The relationship of width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building. An effort should be made to generally align horizontal elements along a street frontage, such as cornice lines, windows, awnings and canopies. The relationship of width and height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building. Particular attention must be given to the scale of street level doors, walls and windows. Blank walls at the street level are to be discouraged. Elements such as windows, doors, columns, pilasters, and changes in materials, artwork, or other architectural details that provide visual interest must be distributed across the facade in a manner consistent with the overall design of the building.”*

The proposed bank building is a single story structure located in the northeast corner of the lot. The adjacent Flowerama building is also a single story structure and the new mixed-use building located across Clay Street from the subject site is a 3-story building. The proposed building is 19 feet in height as measured from the finish floor elevation to the top of the roof. The photo below shows the existing bank building in relation to the Flowerama site to the west and the newly constructed mixed-use building across the street to the east.



The site plan for the new bank utilizes the existing access easement that occupies the westerly 16.5 feet of the property. This essentially reduces the usable width of the lot for the building and parking stalls as indicated on the site plan. The proposed building, drive-through canopy and parking is placed in the northern 2/3s of the lot, which will allow future development in the south 1/3 of the property along W. 2nd Street. The intent of the CBD Overlay and the recently adopted Downtown Vision Plan is to encourage full utilization of building sites and urban buildings that are at least 2 stories tall, similar to the new mixed-use building located east of the subject site. While the proposed bank building does not fully meet that vision, the bank is reserving the remainder of the site for future development that is consistent with the vision plan and is proposing to construct a building that establishes a stronger presence at the corner of the site. The most recent design has a more traditional architectural style with a brick façade punctuated by a series of storefront window openings that are similar in rhythm and horizontal alignment with the new mixed-use building to the east. With an interior 14-foot floor to ceiling height and the tall storefront windows, the building gives the impression of a taller building. **Staff finds that the proposal is an acceptable design that satisfies the standard in the code.**

Roof shape, pitch, and direction: *The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.*

The proposed building is designed with a flat roof which is consistent with the existing downtown roof shapes, pitches, and directions. **The roof shape, pitch, and direction criterion is met.**

- b) ***Pattern:*** *Alternating solid surfaces and openings (wall surface versus doors and windows) in the front facade, sides and rear of a building create a rhythm*

observable to viewers. This pattern of solid surfaces and openings shall be considered in the construction or alteration of a building.

The proposed street-facing bank facades are designed with a rhythm of alternating window openings and solid brick surfaces typical of a modern storefront building. The west elevation has extensive window coverage as the bank desires to showcase this façade as a main entrance for customers arriving by car. The south side of the building has fewer openings as it will be largely shielded from view by the drive-through facility. **Staff finds that the proposed design meets the standard.**

- c) ***Building Composition:*** *To create visual interest and visually break up long building walls, facades on buildings greater than 50 feet in length shall be divided vertically into bays. Facade bays shall be a minimum of 20 feet wide and a maximum 40 feet wide. The bays shall be distinctive but tied visually together by a rhythm of repeating vertical elements, such as window groupings, pilasters, window bays, balconies, changes in building materials and textures, and/or by varying the wall plane of the facade.*



VIEW FROM CLAY STREET

This criterion is established to ensure that the building fits into the context of adjacent structures and to break up the mass and scale of larger buildings. The subject building is only one story tall, so does not create an imposing structure on the site. The standard applies to the street-facing facades. The 1st Street façade is approximately 35 feet wide, so does not need to be divided into modules. The Clay Street façade is approximately 70 feet in length and is divided into three discernible modules based on rhythm of solid surfaces and window groupings: an approximately 20-foot module at the corner with one larger window grouping with three lites, then a 35-foot module with three window openings of equal width with 2 lites each, then a change in plane that creates a third module at the southern end of the façade that is set back about 3 feet from the main façade and includes another large window group with three lites at the southeast corner of the building. **Staff finds that the design meets the building composition standard in the code.**

- d) ***Windows and Transparency:*** *The size, proportion, and type of windows need to be compatible with existing neighboring buildings. A minimum of 70% of the storefront area between 2 and 10 feet in height above the adjacent ground level*

shall consist of clear and transparent storefront windows and doors that allow views into the interior of the store. The bottom of storefront windows shall be no more than 2 feet above the adjacent ground level, except along sloping sites, where this standard shall be met to the extent possible so that views into the interior of the store are maximized and blank walls are avoided. Exceptions may be allowed for buildings on corner lots where window coverage should be concentrated at the corner, but may be reduced along the secondary street façade, and for repurposing of buildings not originally designed as storefront buildings (e.g. re-purposing of an industrial or institutional building). Transom windows are encouraged above storefront display windows. Glazing should be clear and transparent.

The proposed building includes a more traditional pattern of storefront windows than the previous design, which featured a large curtain wall of glass concentrated in one location. The revised design as described above includes a pattern of storefront window openings along the street-facing façade. The architect has calculated the window coverage along the Clay Street façade, which is the primary street façade, at 60.6%. Along the secondary street-facing façade along 1st Street the window coverage is 66.3%. The window glass is clear and transparent glass with a Low-E coating to enhance energy efficiency. The visible light transmission is fairly high at 72%, which will allow views into the interior.



The applicant has requested a minor adjustment to the window coverage standard from the 70% required. As stated above, the zoning ordinance allows such a request to be considered if there are characteristics of the site or building that makes it difficult or infeasible to meet the requirements of the CBD Overlay. Looking at the floor plan, it is clear that the bank has maximized window coverage around three sides of the building in locations that do not interfere with the needs for storage, vault space, and work areas. Windows are concentrated at the street corner as recommended in the code standard. Staff also notes that the windows include an additional bank of transom windows to allow light into the interior and additional verticality to the one story façade.

Given the size of the building and its location at a street corner, staff is in support of a minor adjustment to the window coverage standard as shown on the proposed plans.

- e) **Materials and texture:** *The similarity or compatibility of existing materials and texture on the exterior walls and roofs of the buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration will be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area. Street-facing facades shall be comprised of at least 50% brick, stone, or terra cotta. Side and rear walls shall be comprised of at least 25% brick, stone, or terra cotta. These high quality materials should be concentrated on the base of the building.*

The building is constructed with two different colors of brick. The building meets the requirement that at least 50% of the facades be comprised of brick, stone or terra cotta. Two different metal canopy designs are used, which help define the separate modules of the façade. **Criterion is met.**

- f) **Color:** *The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building. Buildings in the CBD utilize earth and neutral tones; however, other colors can highlight the architectural features of a building and are acceptable as accents. Accents generally include trim areas and comprise up to 15% of the façade.*

The brick facades are two different earth tones. The prominent metal canopies are also earth tone in color. **Criterion is met.**

- g) **Architectural features:** *Architectural features, including but not limited to, cornices, entablatures, doors, windows, shutters, and fanlights, prevailing in the immediate area, shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features should be regarded as suggestive of the extent, nature, and scale of details that would be appropriate on new buildings or alterations.*

The proposed building is located in an area that is evolving, so does not have a consistent architectural character. The design of the new mixed-use building located east of the bank site is consistent with the recently adopted Downtown Plan, which envisions the expansion of the walkable, urban character prized along Main Street. Therefore, it is a better model to emulate than the older highway commercial buildings located along 1st Street. The revised design for the bank is similar in style and composition to the mixed-use building to the east, even though it is raised above the sidewalk level with a large stoop entrance. **With its brick façade with large storefront window openings, and two distinctive canopy designs staff finds that it meets the architectural features standard in the code.**

h) **Building Entries:**

(i) Primary entries to ground floor building space and to common lobbies accessing upper floor building space shall be located along street-facing facades. For buildings with more than one street-facing façade, entries along facades facing primary streets are preferred. Building entries along rear and side facades or from parking garages may not serve as principal building entries. Buildings with more than three street-facing facades shall have building entries on at least two street-facing sides.

The proposed bank has two entries into the building. The west entry is adjacent to the parking lot. The east entry is along the Clay Street, which is designated in the code as the primary street. This eastside entrance provides access for pedestrians traveling along the public sidewalk. **Criterion is met.**

(ii) For buildings that contain residential dwelling units, there must be at least one main entrance on the street-facing façade that provides pedestrian access to dwelling units within the building. Access to dwelling units must not be solely through a parking garage or from a rear or side entrance.

Residential units are not being proposed; **this criterion does not apply for this review.**

(ii) For storefronts with frontage of 100 feet or more, a visible entryway shall be provided a minimum of every 50 feet.

The proposed bank building has a frontage less than 100 feet; **this criterion does not apply for this review.**

(iii) Entryways into a storefront will be at grade with the fronting sidewalks.

The proposed bank is located near the northeast corner of the lot. The site slopes from west to east where the driveway onto W. 1st Street enters the site at level grade. This establishes the finished floor elevation of the bank at 865.5' which is slightly higher than the driveway elevation. The elevation at the street corner is approximately three feet below the floor elevation of the building. In order to establish a prominent pedestrian entrance along Clay Street and create a relationship between the building activity and pedestrian sidewalk, a large covered stoop with steps and an accessible ramp is proposed. As stated

above, the Planning and Zoning Commission may approve deviations from the standards where unique characteristics of the site make it difficult to meet the overlay requirements. The constraints of the building area on the site, the sloping grade, and small size of the building make it difficult to create an at-grade entrance along Clay Street. The applicant has proposed an attractive alternative design solution that will create a prominent and accessible entrance in lieu of an at-grade entrance. **Staff recommends approval of an exception to the standard for at-grade entrance.**

(iv) Entryways shall be designed to be a prominent feature of the building. The use of architectural features such as awnings, canopies, and recessed entries are encouraged.

Both the east and west entries are sheltered by large metal canopies that are prominent features of the building design. These design elements are both practical and attractive and draw attention to the entrances of the building.

Criterion is met.

- i) **Exterior mural wall drawings, painted artwork, exterior painting:** *These elements shall be reviewed to consider the scale, context, coloration and appropriateness of the proposal in relation to nearby facades and also in relation to the prevailing character of the downtown area.*

No mural is being proposed; **this criterion does not apply for this review.**

- g) **Trash Dumpsters:** A trash dumpster is located southwest of the drive-through and next to the north/south driveway along the west side of the property. A brick enclosure is proposed to screen the dumpster. The brick will match the brick used on the building.
- h) **Storm Water Management:** A preliminary storm water report for this site has been submitted and reviewed by the City's Engineering Division. While detention is not required, water quality requirements apply. The proposal is to install a bioclean water quality intake along the back of the curb near the southeast corner of the building. This intake will collect the stormwater from the site and provide water quality treatment before releasing into the storm sewer on Clay Street. Technical aspects of the stormwater management proposed for the site will be reviewed when construction level drawings are submitted. **Criterion is met, subject to engineering review and approval at time of construction.**
- i) **Signage:** *Wall signs shall not exceed 10% of the total wall area, and in no case shall exceed 10% of the area of the storefront. Wall signs on storefronts shall not extend beyond or above an existing sign band or extend over or detract from the architectural features of the building facade, such as cornices, pilasters, transoms, window trim, and similar.*

Wall signage is identified on the north and west walls of the building. These are internally illuminated wall signs. The proposed signs meet the requirements for

size and placement. A separate sign permit is required for any signage on the building. **Criterion met.**

- j) **Storm Sewer Easement Vacation:** The site has a storm sewer easement at the northeast corner of the property. This easement was put in place during the reconstruction of W. 1st Street in the late 1980s. A portion of this easement will be vacated as part of this project and a separate staff report explained this process under Case #VAC19-004, which was previously discussed and recommended by the Commission.

TECHNICAL COMMENTS

City technical staff, including the City's Engineering staff and Cedar Falls Utilities (CFU) personnel have completed an initial review of the civil site plan. There are some minor corrections and inconsistencies between the architectural site plan and the civil site plan that will need to be corrected in the plan set submitted for the building permit. Engineering staff notes that final grades will be reviewed to ensure ADA compliance.

As noted in the staff report above, the City will work with the applicant on final details of the streetscape layout and elements to ensure consistency with the downtown streetscape plan.

CFU notes that water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. Water is available from the alley and gas is available from Clay Street. The developer is responsible for abandoning the water service by removing the corporation stop and plugging at the water main per the service policies of CFU. Electric and communication are available from south of the existing bank site on the alley side. CFU notes that the developer is responsible for all utility relocation costs including the cost to relocate and/or change the service to Flowerama and provide the new transformer pad at the new location.

A 10-foot-wide utility easement is needed from the new transformer location (including the transformer) to the west side of the alley at the utility pole. The easement will need to be legally established prior to issuance of an occupancy permit for the new building.

STAFF RECOMMENDATION

Staff recommends approval of case #SP19-017, a site plan and building design for a new bank facility located at the corner of 1st and Clay Streets in the Central Business District Overlay Zoning District, subject to conformance to all City staff recommendations and technical requirements.

PLANNING & ZONING COMMISSION

Introduction and Discussion	Chair Holst introduced the item and Ms. Howard provided background information. She explained that a new Community Bank and Trust is
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3/11/2020

proposed to be rebuilt on the site where the existing bank is located. The owner is proposing to build a smaller structure with a two lane drive-through with a covered patio along Clay Street. The site is currently zoned C-2, Commercial and is in the Central Business District Overlay zone. The proposed use is allowed. Ms. Howard discussed the planned setbacks noting that the maximum setback of 10 feet is exceeded. She discussed the allowance for exceptions to the rule. Staff is recommending an exception due to the difficulty created by the sloping nature of the site and constraints caused by the existing building. She noted that the outdoor plaza space proposed by the bank is intended to visually bring the building forward to address the street. She also noted that parking, landscaping, and streetscape requirements have been satisfied.

Ms. Howard also discussed design standards, such as proportion to adjacent buildings, noting that while greater utilization of the downtown site is desirable, the bank is reserving the remainder of the site for further development and creating a stronger presence at the corner. She noted that the roof shape, pitch and direction are acceptable, as is the building pattern. The building composition does not technically meet the standards, but staff feels that an exception to the standard may be warranted as the size, scale and rhythm created by the structure are acceptable as it still creates visual interest.

Ms. Howard spoke about the windows and transparency noting that the current plan proposes a large wall of glass of a light blue color. The CBD Overlay standards require clear and transparent windows to maximize the views into the building and allow a variety of uses of the building over time. Staff finds the request to vary from the code standard does not qualify for an exception as there is no practical difficulty in meeting the standard. An acceptable alternative would be to use clear and transparent glass on the lower glass panes at the storefront level while allowing the upper panes to be blue glass as desired by the bank.

Ms. Howard noted that the criterion have been met for materials and texture, color, and the architectural detailing. According to code, entryways are to be at grade with the fronting sidewalks. The site slopes from west to east and ground elevation is approximately three feet below the floor elevation of the building, so the entryway along Clay Street does not meet the standard of being at the same grade as the sidewalk. To establish a pedestrian entrance along Clay Street a covered outdoor plaza is proposed with an accessible ramp and stairs. It will provide an accessible transition from the sidewalk to the building and will create a prominent entrance to the building. Staff recommends approval of the exception due to the sloping nature of the site. Trash dumpster and storm water management plans are acceptable, as are the plans for signage. Staff recommends gathering any comments from the public and Planning and Zoning Commission and continuing the discussion at the next meeting.

Bob Seymour, 2710 Country Meadow Lane, representing Community Bank and Trust, spoke about the project noting that it will be a significant investment. He discussed the window color issue, noting that they feel it is

aesthetically pleasing, it's not a storefront and isn't on Main Street. He explains that the tint is minor and that it supports the bank's brand. They would like to be allowed to use the tinted glass.

Kim Bear (3815 Union Road), Events and Promotions Coordinator/Interim Director of Community Main Street, thanked Community Bank & Trust for their continued investment in downtown. She reported on the review from the Community Main Street Design Committee, which has also been submitted in writing. The committee had some concerns with the building design and feel the building needs to be designed to outlast the tenant and feels that the blue glass, in particular, might be something to be reconsidered.

Mr. Leeper stated that in general he likes contemporary buildings, but has some concerns about the proposed design of the bank. With regard to the blue glass, he feels that in years to come it will become dated. He also feels that the proposed design is not in keeping with the recently adopted community vision for downtown. It is more suburban in design and will not contribute to the density desired in the downtown. Ms. Prideaux stated she has the same concerns and asked about the idea of adding a wall along the 1st Street frontage to make it feel like the development is filling more of the site. Mr. Leeper stated that the main building entrance on the west side of the building will prevent any additional development to the west in the future that might fill in more of the site. Mr. Holst was also concerned but also noted that the usage isn't changing from what is there now.

Ms. Prideaux inquired if the applicant could provide a visualization of how the building would look on the site in comparison with adjacent development and also how it would look if the southern portion was developed in the future as indicated by the bank.

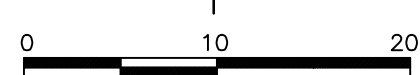
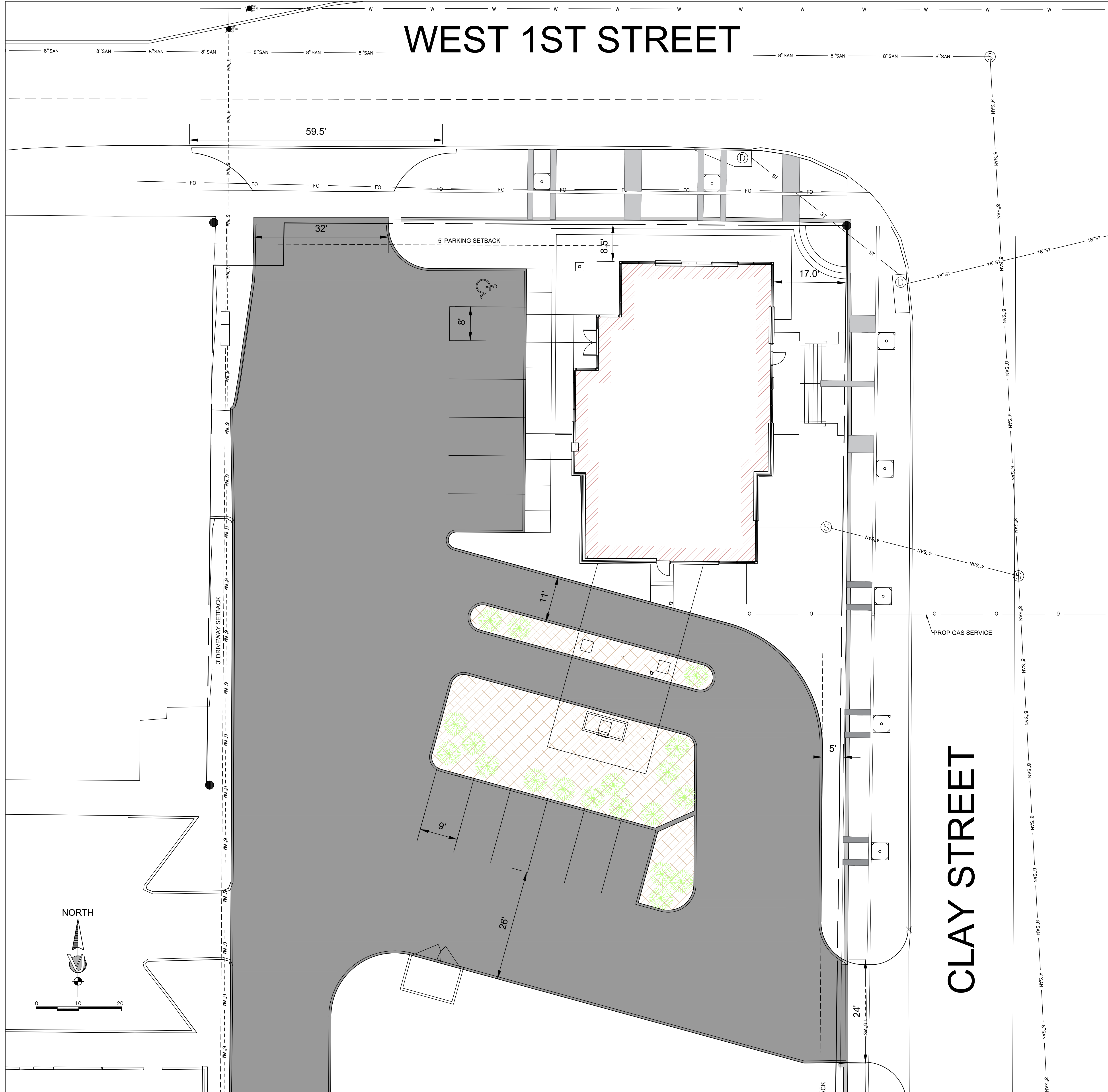
Mr. Seymour stated that the way the site plan has been designed, has been done to leave the south half of the site open for more potential development to allow for growth. He noted that they could provide that visualization at the next meeting.

Mr. Wingert asked if it would be possible to extend some feature of the building or a wall of similar design to the west to tie it closer to the alley to use more of the frontage. He stated that in general he doesn't have an issue with the project. Ms.

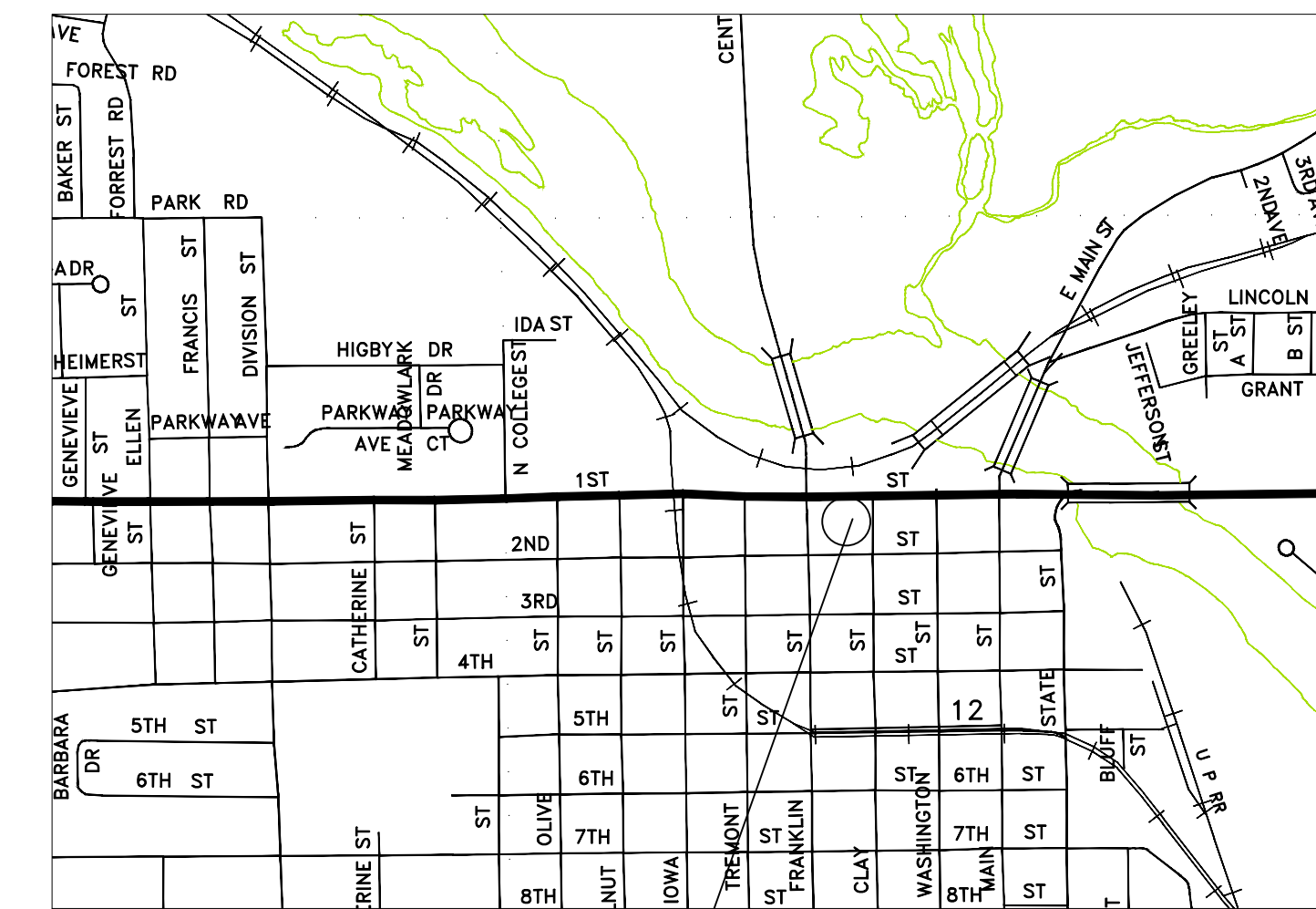
Prideaux asked for a panoramic view to show the context of the project.

312 WEST 1ST STREET
CEDAR FALLS, IOWA

WEST 1ST STREET



VICINITY MAP



INDEX OF SHEETS

1. TITLE SHEET
2. GENERAL NOTES
3. EXISTING CONDITIONS / REMOVALS
4. PAVING / GRADING PLAN
5. UTILITY PLAN
6. SWPPP

OWNER/ DEVELOPER
COMMUNITY BANK AND TRUST

PROJECT SITE ADDRESS
312 WEST 1ST STREET

CURRENT ZONING
C-2 RETAIL COMMERCIAL

PARKING REQUIREMENTS
 1/300 SF GROSS FLOOR AREA, MIN: 5 STALLS
 PARKING REQUIRED: 2,900 FLOOR AREA = 10 STALLS
 PARKING PROVIDED: 11 STALLS (INCLUDING 1 ADA)

SITE IMPROVEMENTS	
PROPOSED BUILDING/PATIO	= 3,230 SF
PROPOSED PAVEMENT/SIDEWALKS	= 19,585 SF
TOTAL IMPERVIOUS	= 22,815 SF = 59%

$$\frac{\text{GREENSPACE}}{\text{TOTAL AREA}} = \frac{15,910 \text{ SF}}{38,725 \text{ SF}} = 41\%$$

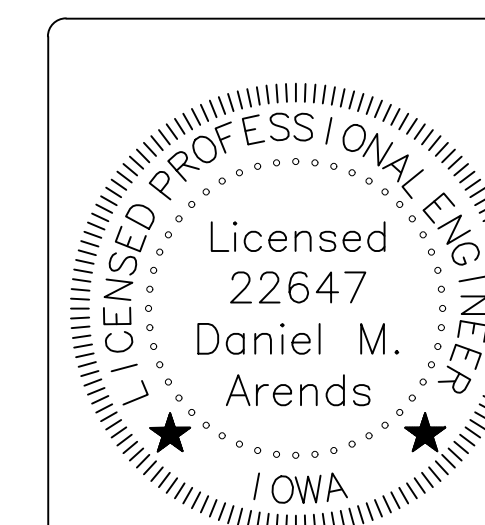

FEATURE LEGEND

- PROPERTY CORNER SET
- PROPERTY CORNER FOUND
- △ SECTION CORNER FOUND
- 100.00 DIMENSION OF SURVEY
- (100.00) DIMENSION OF RECORD
- CO--- EXISTING CONCRETE
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- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- M EXISTING GAS VALVE
- EXISTING PHONE PED.
- ★ EXISTING TREE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- 000.00 PROPOSED GRADES
- X000.00 EXISTING GRADES
- PROPOSED SILT FENCE

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

THE CONSTRUCTION OF THE SANITARY SEWER, STORM SEWER, AND WATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR MUNICIPAL IMPROVEMENTS WITHIN THE CITY OF CEDAR FALLS, IOWA, AND THE STATEWIDE URBAN DESIGNS AND SPECIFICATIONS (SUDAS).



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

05/26/20

DATE _____

DANIEL M. ARENDS, P.E.

License number 22647

My license renewal date is December 31, 2020

Pages or sheets covered by this seal: **C001 - C006**

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COMMUNITY BANK &
TRUST
CEDAR FALLS, IOWA

[illegible]

COVER SHEET

UJ Engineering Project Number	198089
Date	26 May, 2020

C001

GENERAL NOTES	
SCOPE OF PROJECT THIS PROJECT CONSISTS OF THE DEVELOPMENT OF A COMMUNITY BANK AND TRUST IN A C-2 COMMERCIAL ZONE AND CENTRAL BUSINESS DISTRICT OVERLAY. THE PROJECT LIMITS INCLUDE CONSTRUCTION OF A 1 STORY BANK BUILDING, PARKING LOT, STORM SEWER SYSTEM, SANITARY SEWER SERVICE, AND WATER SERVICE. THE EXISTING BANK BUILDING ON THE SITE SHALL REMAIN AND OPERATE DURING CONSTRUCTION OF THE PROPOSED BUILDING. CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER TO MINIMIZE INTERRUPTIONS TO BUSINESS OPERATIONS AND PROVIDE TEMPORARY ACCESS AS NEEDED FOR BUSINESS DURING CONSTRUCTION.	PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010. INSTALL PERMANENT SEEDING IN ALL DISTURBED, NON-HARD SURFACED AREAS, INCLUDING PUBLIC ROW, THIS CONSTRUCTION SEASON IF POSSIBLE. IF PERMANENT SEEDING CAN'T BE INSTALLED THIS YEAR, IT SHALL BE INSTALLED THE FOLLOWING CONSTRUCTION SEASON.
STORM WATER RUNOFF WILL BE HANDLED BY AN ENGINEERED STORM SEWER INTAKE DESIGNED TO MEET THE CITY OF CEDAR FALLS WATER QUALITY REQUIREMENTS FOR THIS SITE THAT CONVEYS THE STORM WATER TO THE CITY’S STORM SEWER. EARTHWORK WILL BE LIMITED TO TOPSOIL REMOVAL AND EARTH EXCAVATION AND FILL TO 12” BELOW PAVING GRADE AT THE PROPOSED PARKING LOT. 6” P.C.C. CONCRETE WILL BE SUPPORTED BY 6” OF GRANULAR SUBBASE AND COMPACTED EARTH.	EXISTING STREET SIGNS, TRAFFIC SIGNS AND PRIVATE SIGNS AFFECTED BY THE CONSTRUCTION SHALL BE SALVAGED AND REMOVED BY THE CONTRACTOR. STREET AND TRAFFIC SIGNS AND POSTS NOT REUSED ON THE PROJECT SHALL BE STOCKPILED FOR CITY PICKUP. SIGNS TO BE REUSED, INCLUDING ALL PRIVATE SIGNS AND DESIGNATED PUBLIC SIGNS, SHALL BE REINSTALLED BY THE CONTRACTOR. THIS WORK WILL NOT BE PAID SEPARATELY BUT WILL BE CONSIDERED INCIDENTAL TO THE PROJECT.
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), 2020 AND THE CITY OF CEDAR FALLS CURRENT SUPPLEMENTAL SPECIFICATIONS.	CARE SHALL BE TAKEN DURING SITE EXCAVATION AND GRADING OPERATIONS TO MINIMIZE DISTURBANCE ON THE BEARING SOILS. HEAVY EQUIPMENT TRAFFIC DIRECTLY ON BEARING SURFACES SHOULD BE AVOIDED IN SATURATED SOILS.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL AS DIRECTED BY ENGINEER. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH ”THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.”	ALL BACKFILL AND COMPACTION OF TRENCHES SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATION SECTION 3010.
NOTE THAT EXISTING WATER, GAS, TELEPHONE AND OTHER UTILITIES AND SERVICES FROM THESE UTILITIES MAY EXIST ADJACENT TO THE WORK AREA AND THAT SPECIAL PRECAUTIONS MUST BE USED WHEN WORKING AROUND SAID UTILITY. STATE LAW REQUIRES THAT THE IOWA ONE-CALL UTILITY LOCATION SYSTEM BE CALLED PRIOR TO ANY EXCAVATION.	SOME ADJUSTMENTS IN THE MOISTURE CONTENT OF ON-SITE SOILS SHALL BE ANTICIPATED ON THIS PROJECT TO ACHIEVE ADEQUATE COMPACTION. THE SOIL’S WATER CONTENT AT THE TIME OF COMPACTION SHOULD BE AT -1 TO +3% OF THE SOILS OPTIMUM MOISTURE VALUE AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D-698).
TELEPHONE NUMBER: 1-800-292-8989 OR 811	ALL FILL MATERIALS SHALL BE PLACED AND COMPACTED IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS. ALL FILL MATERIAL PLACED IN PAVEMENT AREAS, WITH THE EXCEPTION OF THE FILL BELOW THE M & D LAYER, SHALL BE COMPACTED TO 95% OF THE SOIL’S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698). ALL FILL MATERIAL PLACED BELOW THE M & D LAYER SHALL BE TYPE A COMPACTION. OUTSIDE FILL MATERIAL SHALL BE LIMITED TO THE AREA DIRECTLY BELOW THE ROADWAY, OTHER AREAS SHALL BE APPROVED BY THE ENGINEER.
THE ENGINEER (VJ ENGINEERING) MAY FURNISH THE REQUIRED STAKES AND BENCHMARKS FOR THIS WORK. CONTRACTOR SHALL MAINTAIN ALL STAKES AND REPORT ANY DAMAGE TO THE ENGINEER. THE CONTRACTOR SHALL VERIFY ALL GRADES LINES, LEVELS AND DIMENSIONS AS SHOWN ON THE DRAWINGS, AND HE SHALL REPORT ANY ERRORS OR INCONSISTENCIES TO THE ENGINEER PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKES. CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING SURVEY STAKES AND MARKS, AND IF ANY SURVEY STAKES OR MARKS ARE CARELESSLY OR WILLFULLY DESTROYED OR DISTURBED BY THE CONTRACTOR, HE SHALL BE RESPONSIBLE FOR THE MISTAKES THAT MAY BE CAUSED BY THEIR LOSS OR DISTURBANCE, AND BE CHARGED FOR THE COST OF REPLACING THEM.	UPON COMPLETION OF FILL OPERATIONS, CARE SHALL BE TAKEN TO MINIMIZE SUBGRADE DISTURBANCE AND MAINTAIN THE SUBGRADE MOISTURE CONTENT PRIOR TO CONSTRUCTION OF THE PAVEMENT. IF THE SUBGRADE SHOULD BECOME SATURATED, DESICCATED OR DISTURBED, THE AFFECTED MATERIAL SHALL BE REMOVED AND REPLACED, OR THESE MATERIALS SHALL BE SCARIFIED, MOISTURE CONDITIONED AS NECESSARY, AND RECOMPACTED PRIOR TO CONSTRUCTION OF THE PAVEMENT.
ALL CONTRACTORS SHALL CONDUCT THEIR OPERATIONS IN A MANNER THAT CONTROLS POLLUTANTS, MINIMIZES EROSION, AND PREVENTS SEDIMENTS FROM ENTERING WATERS OF THE STATE AND LEAVING THE PROJECT SITE.	IF SOME TIME WILL ELAPSE BETWEEN SUBGRADE PREPARATION AND PAVEMENT CONSTRUCTION, SUBGRADE SHALL BE REWORKED AND RE-TESTED PRIOR TO PLACEMENT OF THE PAVEMENT. SITE GRADING SHALL BE SLOPED TO PROVIDE RAPID DRAINAGE OF SURFACE WATER AWAY FROM PAVEMENTS AND STRUCTURES. ANY WORK PERFORMED DUE TO SUBGRADE DEGRADATION AFTER INITIAL SCARIFYING AND PROOF- ROLLING IS INCIDENTAL TO THE PROJECT. MODIFIED SUBBASE SHALL MEET THE REQUIREMENTS OF SECTION 97043 OF THE I.D.O.T. SUPPLEMENTAL SPECIFICATIONS POROUS BACKFILL MEETING THE REQUIREMENTS OF SECTION 4131 OF THE 2015 I.D.O.T. STANDARD SPECIFICATIONS IS CONSIDERED INCIDENTAL TO THE 6” PERFORATED SUB- DRAIN SYSTEM.
RESTORE ALL SURFACES DISTURBED BY CONSTRUCTION RELATED ACTIVITIES TO A CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND BEFORE WORK COMMENCED. USE SUITABLE MATERIALS AND METHODS FOR RESTORATION.	SILT FENCE SHALL BE PLACED SO THAT STORM WATER RUN-OFF DOES NOT CREATE EROSION ON ADJACENT PROPERTIES.
IT SHALL BE THE CONTRACTOR’S RESPONSIBILITY TO PROVIDE APPROVED WASTE AREAS OF DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE RIGHT-OF-WAY, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER. WASTE AREA OR DISPOSAL SITE SHALL BE APPROVED BY THE ENGINEER.	ALL WATER SERVICES SHALL BE TAPPED WITH A SADDLE. WATERMAIN BACTERIOLOGICAL, LEAK AND PRESSURE TESTING TO BE COMPLETED AFTER SERVICES ARE COMPLETED. ALL WATER SERVICE CONNECTIONS INCLUDE THE PRICE OF THE TAP, SADDLE, CORP. STOP AND WATER SHUT OFF.
CONTRACTOR TO FURNISH REST ROOM FACILITIES FOR THE CONTRACTOR’S EMPLOYEES. THIS WILL BE CONSIDERED INCIDENTAL TO OTHER WORK.	CONTRACTOR SHALL NOTIFY ENGINEER IN THE EVENT THAT FIELD CHANGES IN DESIGN ARE REQUIRED. CONTRACTOR SHALL KEEP TRACK OF SUCH CHANGES SO THAT RECORD DOCUMENTS CAN BE COMPLETED UPON COMPLETION OF CONSTRUCTION.
REMOVAL OF ANY ITEMS NECESSITATING REMOVAL IN ORDER TO CONTINUE WORK SHALL BE CONSIDERED AS INCIDENTAL WORK. THE COST OF SUCH REMOVAL AND DISPOSAL SHALL BE CONSIDERED INCIDENTAL TO AND INCLUDED IN THE CONTRACT PRICE FOR APPLICABLE ITEMS.	CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT TRUCKS TRAVELING TO AND FROM THE PROJECT SITE ARE IN GOOD WORKING ORDER AND DO NOT DROP OR TRACK MATERIAL BEING HAULED FROM THE SITE INTO THE STREET.
THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES BEFORE STARTING TRENCH CUTTING OPERATIONS. EXCAVATION SHALL BE PERFORMED BY HAND DIGGING AROUND UTILITIES TO LOCATE AND PREVENT RUPTURE OR BREAKING OF LINES. COST OF REPAIRING ANY DAMAGES TO EXISTING UTILITIES SHALL BE PAID BY THE CONTRACTOR WITHOUT EXPENSE TO THE CITY OR ENGINEER. THE OWNER RESERVES THE RIGHT TO REPAIR ANY EXISTING UTILITY DAMAGED BY THE CONTRACTOR, AT THE CONTRACTOR’S EXPENSE.	CONTRACTOR SHALL NOT USE SUBBASE FOR HAULING, BACKED ON FOR THE PLACING OF CONCRETE, OR ANY OTHER TRAFFIC ON THE COMPLETED SUBBASE.
THE CONTRACTOR SHALL NOT DISTURB DESIRABLE WALKS OR GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL BE ALLOTTED AN AREA FOR STORAGE OF MATERIAL AND EQUIPMENT. THIS AREA IS SHOWN ON THE PLANS AND IS SUBJECT TO APPROVAL OF THE ENGINEER. EXCESS MATERIAL TO BE STORED AT AN APPROVED OFF SITE LOCATION DUE TO THE RESTRICTIONS OF THE SITES AREA.	ALL CONSTRUCTION ACTIVITY FOR THIS PROJECT MUST BE COMPLETED WITHIN THE PROPERTY LIMITS.
ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REPRESENT TOP OF FINISH GRADE.	FLAG POLE TO BE REMOVED, SALVAGED AND REINSTALLED PER SITE PLAN.
LOCATION OF ROADWAY TRAFFIC CONTROL SIGNS ARE SUBJECT TO OWNER OR ENGINEER’S APPROVAL.	
APPLY MOISTURE TO CONSTRUCTION AREA AS REQUIRED TO MINIMIZE DUST.	

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RAKER RHODES ENGINEERING 112 E WASHINGTON ST, SUITE B IOWA CITY, IA 52240 319.333.7860	VJ ENGINEERING 1501 TECHNOLOGY PKWY, SUITE 100 CEDAR FALLS, IA 50613 319.266.5629

COMMUNITY BANK & TRUST

CEDAR FALLS, IOWA

No.	Description	Date

CONSTRUCTION NOTES

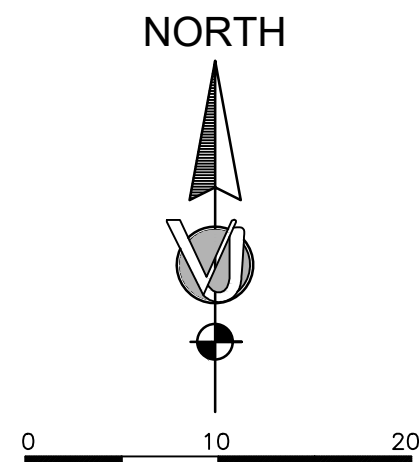
VJ Engineering Project Number

198089

Date

26 May, 2020

C002



1. REMOVE PIPE. FORM INSIDE OF BOX. PROVIDE (2) #4 EPOXY COATED REBAR HORIZONTAL AND VERTICAL. PATCH WITH LOW SLUMP CONCRETE FROM OUTSIDE.
2. CUT OUT TEE AND REPLACE WITH SHORT SECTION OF PIPE AND (2) FERNCO COUPLERS. PLUG END OF 4" LINE FROM WEST. FILL PIPE WITH FLOWABLE FILL.

1. EXISTING STORM SEWER ELEMENTS, LIGHT POLES, PAVEMENT, CURB AND GUTTER, ATM KIOSK, PYLON SIGN AND EXISTING BLOCK RETAINING WALL IN AREA FOR PROPOSED BUILDING CONSTRUCTION.
2. AFTER PROPOSED BUILDING CONSTRUCTION, REMOVE EXISTING BUILDING AND UTILITY CONNECTIONS.
3. EXISTING PAVEMENT, CURB AND GUTTER, BLOCK RETAINING WALL AND UTILITY LINES AS NEEDED.

O	PROPERTY CORNER SET
●	PROPERTY CORNER FOUND
▲	SECTION CORNER FOUND
100.00	DIMENSION OF SURVEY
(100.00)	DIMENSION OF RECORD
—COMM—	EXISTING COMMUNICATION
— G —	EXISTING GAS
— ST —	EXISTING STORM SEWER
— SAN —	EXISTING SANITARY SEWER
— T —	EXISTING TELEPHONE
— C —	EXISTING CABLE
— E —	EXISTING ELECTRIC
— W —	EXISTING WATER
—OHU—	EXISTING OVERHEAD UTIL.
— FO —	EXISTING FIBER OPTIC
—//—	EXISTING FENCE
⊙	EXISTING LIGHT POLE
○	EXISTING UTILITY POLE
Ⓛ	EXISTING ELECTRICAL BOX
⊙	EXISTING MANHOLE
⊙	EXISTING FIRE HYDRANT
●	EXISTING WATER VALVE
⊕	EXISTING GAS VALVE
Ⓛ	EXISTING TELEPHONE PED.
☼	EXISTING TREE
—000—	EXISTING CONTOURS
—000—	PROPOSED CONTOURS
⊗000.00	PROPOSED GRADES
×000.00	EXISTING GRADES
———	PROPOSED SILT FENCE

C003

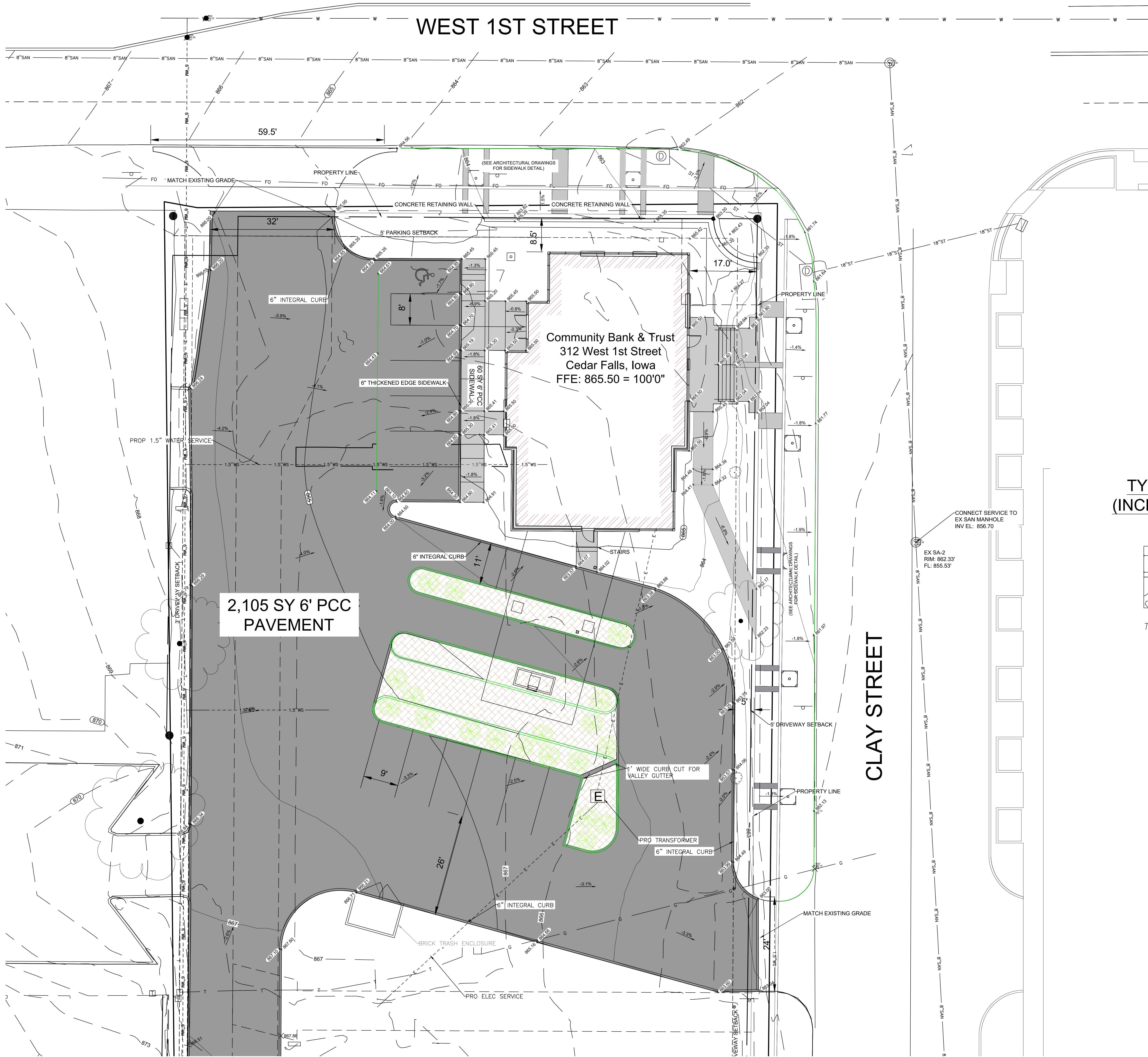
BRAKER RHODES ENGINEERING 1112 E WASHINGTON ST, SUITE B IOWA CITY, IA 52240 319.333.7850	MODUS ENGINEERING 214 E 4TH ST WATERLOO, IA 50703 319.235.0650
VJ ENGINEERING 1501 TECHNOLOGY PKWY, SUITE 100 CEDAR FALLS, IA 50613 319.266.5929	KIRK GROSS COMPANY 4015 ALEXANDRA DR WATERLOO, IA 50704 319.234.6641

EXISTING CONDITIONS
& REMOVALS PLAN

VJ Engineering Project Number 198089
Date 26 May, 2020

26 May, 2020

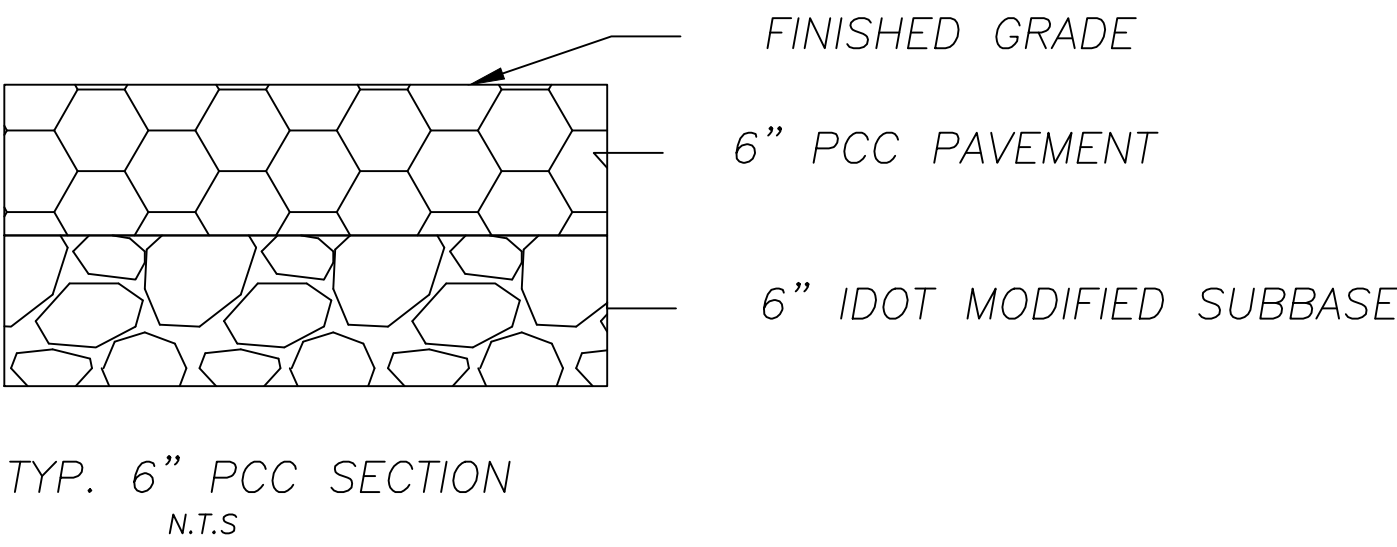
cons



NOTES

- 1) ALL PAVEMENT REMOVAL FOR UTILITY WORK SHALL BE REPLACED IN KIND. ANY UNNECESSARY DAMAGE TO CITY STREETS SHALL BE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPLACED TO THE SATISFACTION OF THE CITY OF CEDAR FALLS
- 2) THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL UTILITY RELOCATION COSTS

TYPICAL PAVEMENT CROSS SECTIONS (INCLUDING SIDEWALK THROUGH DRIVES)



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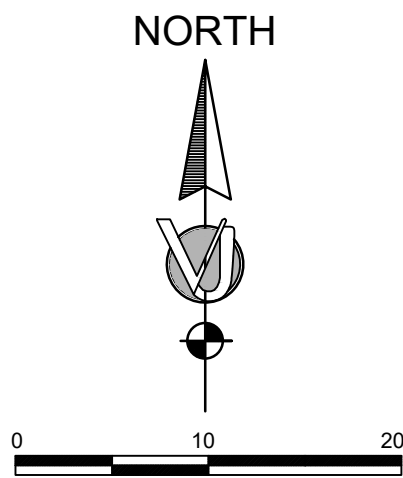
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1501 TECHNOLOGY PKWY, SUITE 100
CEDAR FALLS, IA 50613
319.266.5829

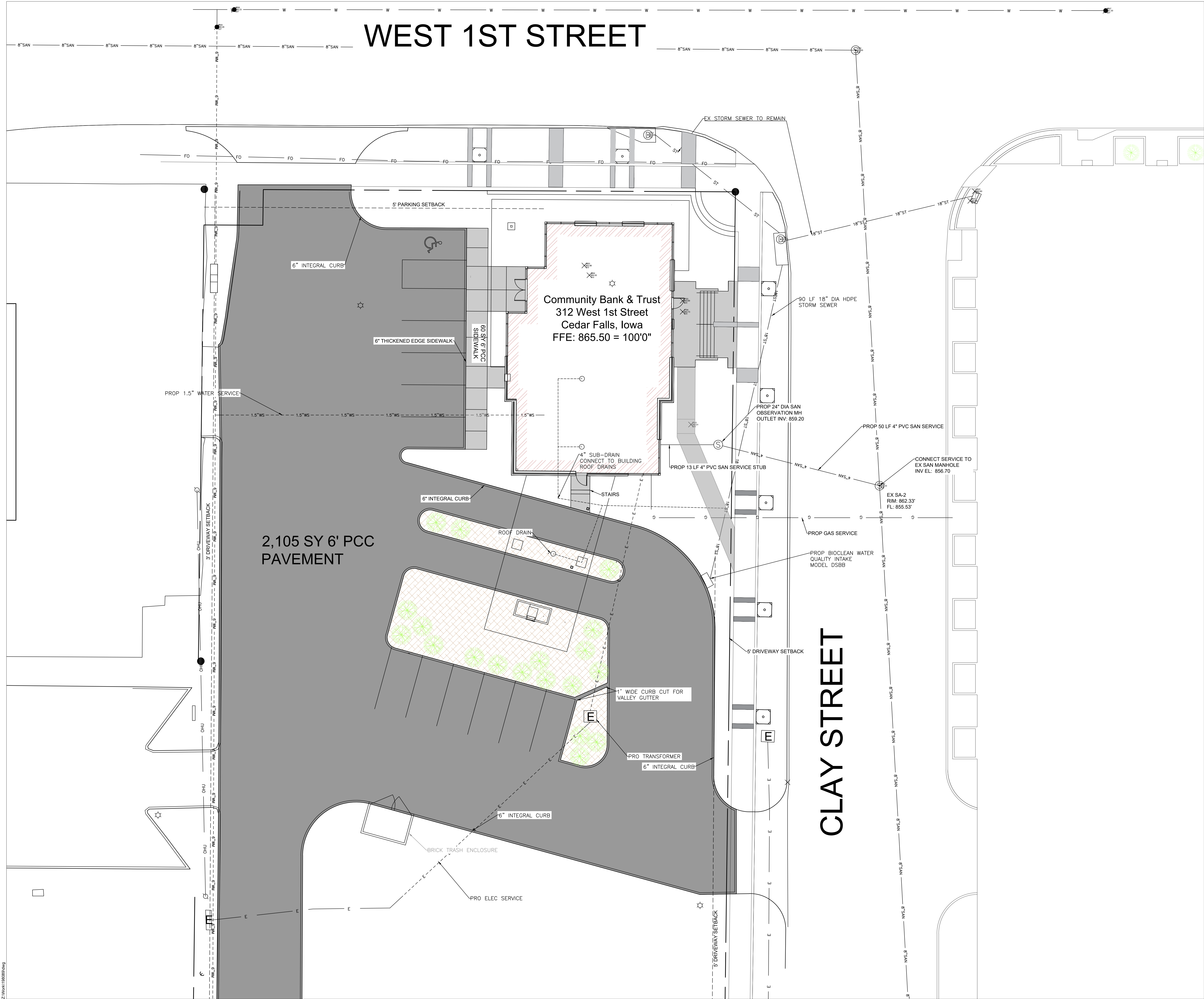
COMMUNITY BANK & TRUST
CEDAR FALLS, IOWA

No.	Description	Date

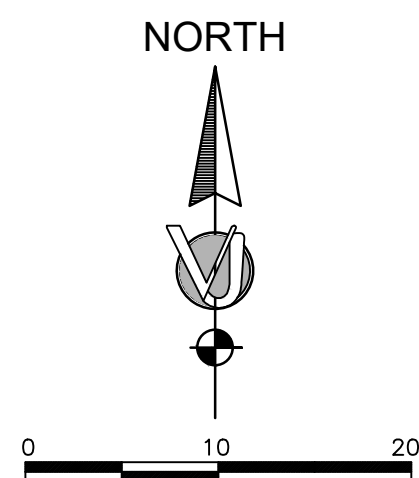
PAVEMENT & GRADING PLAN
VJ Engineering Project Number
198089
Date
26 March, 2020

C004





- FEATURE LEGEND**
- PROPERTY CORNER SET
 - PROPERTY CORNER FOUND
 - SECTION CORNER FOUND
 - 100.00 DIMENSION OF SURVEY
 - (100.00) DIMENSION OF RECORD
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 - EXISTING TELEPHONE PED.
 - EXISTING TREE
 - 000 - EXISTING CONTOURS
 - 000 - PROPOSED CONTOURS
 - × 000.00 PROPOSED GRADES
 - × 000.00 EXISTING GRADES
 - - - PROPOSED SILT FENCE



UTILITIES PLAN

No.	Description	Date

VJ Engineering Project Number 198089
Date 19 March, 2020

C005

COMMUNITY BANK &
TRUST
CEDAR FALLS, IOWA

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STORM WATER POLLUTION PREVENTION CONTROLS TO BE DRAWN ON THE SITE MAP BY THE SITE SWPPP MANAGER AS THEY ARE IMPLEMENTED:

- CONSTRUCTION ENTRANCES
- CONSTRUCTION PARKING AND DRIVEWAYS
- EQUIPMENT AND MATERIAL STORAGE
- HAZARDOUS MATERIAL STORAGE
- JOB TRAILER -SOIL/TOPSOIL STOCKPILES
- SNOW STOCKPILES
- SANITARY FACILITIES
- GARBAGE/RECYCLING FACILITIES

SITE MAP SHALL BE UPDATED AS CONDITIONS AND/OR CONTROL LOCATIONS CHANGE.

Site stabilization: Disturbed areas that have ceased temporarily or permanently where work will not resume for a period exceeding 14 calendar days shall be stabilized immediately. All areas where work is completed shall be final stabilized upon completion of work.

Site stabilization staging: Establish all SWPPP protection including intake protection prior to disturbing any area. Stabilize construction entrances after removal of pavement if it is to be used for construction traffic. Entrance shall be kept clean by sweeping as necessary. Establish any staging area not on existing hard surface prior to beginning work. All SWPPP protection including silt fence and intake protection shall be in accordance with SUDAS.

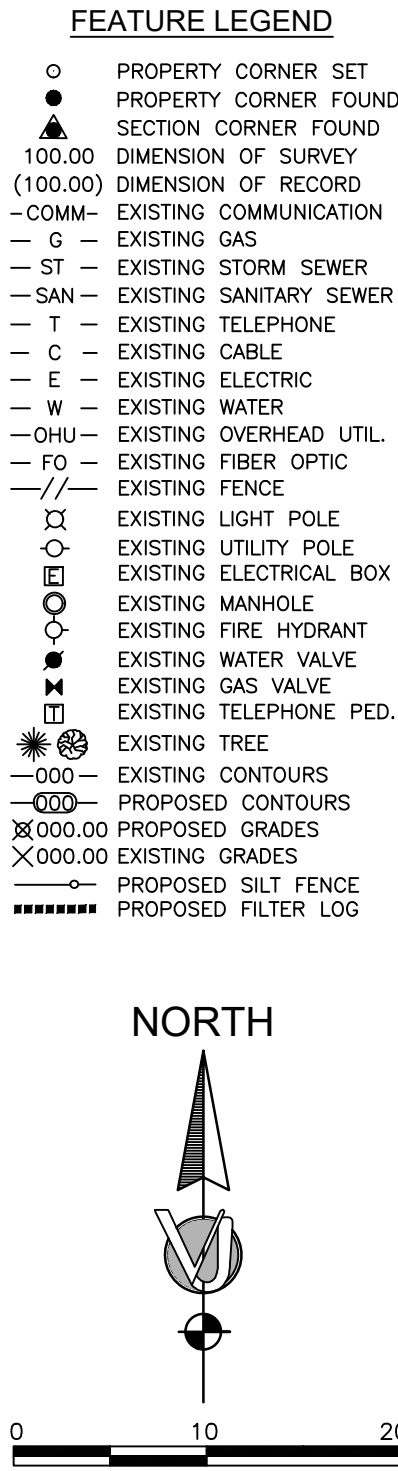
Submit City SWPPP Application prior to any demolition or construction. Additional comments and reviews may be completed at time of permitting.

Stage 1 - Pavement removal in area of proposed building - ensure all SWPPP protection measures are in place and inspected prior to beginning any construction activities. Ensure existing paved site entrance is kept clean. Ensure there is adequate protection for disturbed areas, note any changes to protection on SWPPP plan.

Stage 2 - Utilities - ensure all areas are final or temporarily stabilized is in place prior to connection to storm water system. Ensure temporary seeding is in place as needed.

Stage 3 - Existing building and remaining existing pavement removal- stabilize entrances if they are to be used for construction entrance. Sod area around building within14 days of completion.

Stage 4 - Final parking lot paving and reestablish grass on open area on south end of lot. Ensure proper soil is in place prior to final seeding.



MODUS ENGINEERING
214 E 4TH ST
WATERLOO, IA 50703
319.235.0650

RAKER RHODES ENGINEERING
112 E WASHINGTON ST, SUITE B
IOWA CITY, IA 52240
319.333.7850

KIRK GROSS COMPANY
4015 ALEXANDRA DR
WATERLOO, IA 50704
319.234.6641

VLEENGINEERING
1501 TECHNOLOGY PKWY, SUITE 100
CEDAR FALLS, IA 50613
319.266.5829

COMMUNITY BANK &
TRUST
CEDAR FALLS, IOWA

No.	Description	Date

SWPPP
VJ Engineering Project Number
Date
198089
26 May, 2020
C006

COMMUNITY BANK & TRUST

DATE	#	DESCRIPTION OF REVISION
5/11/2020	0	Planning & Zoning
5/19/2020	1	Planning & Zoning Resubmittal
5/27/2020	2	Planning & Zoning Resubmittal

DATE ISSUED:

DRAWN BY:

CHECKED BY:

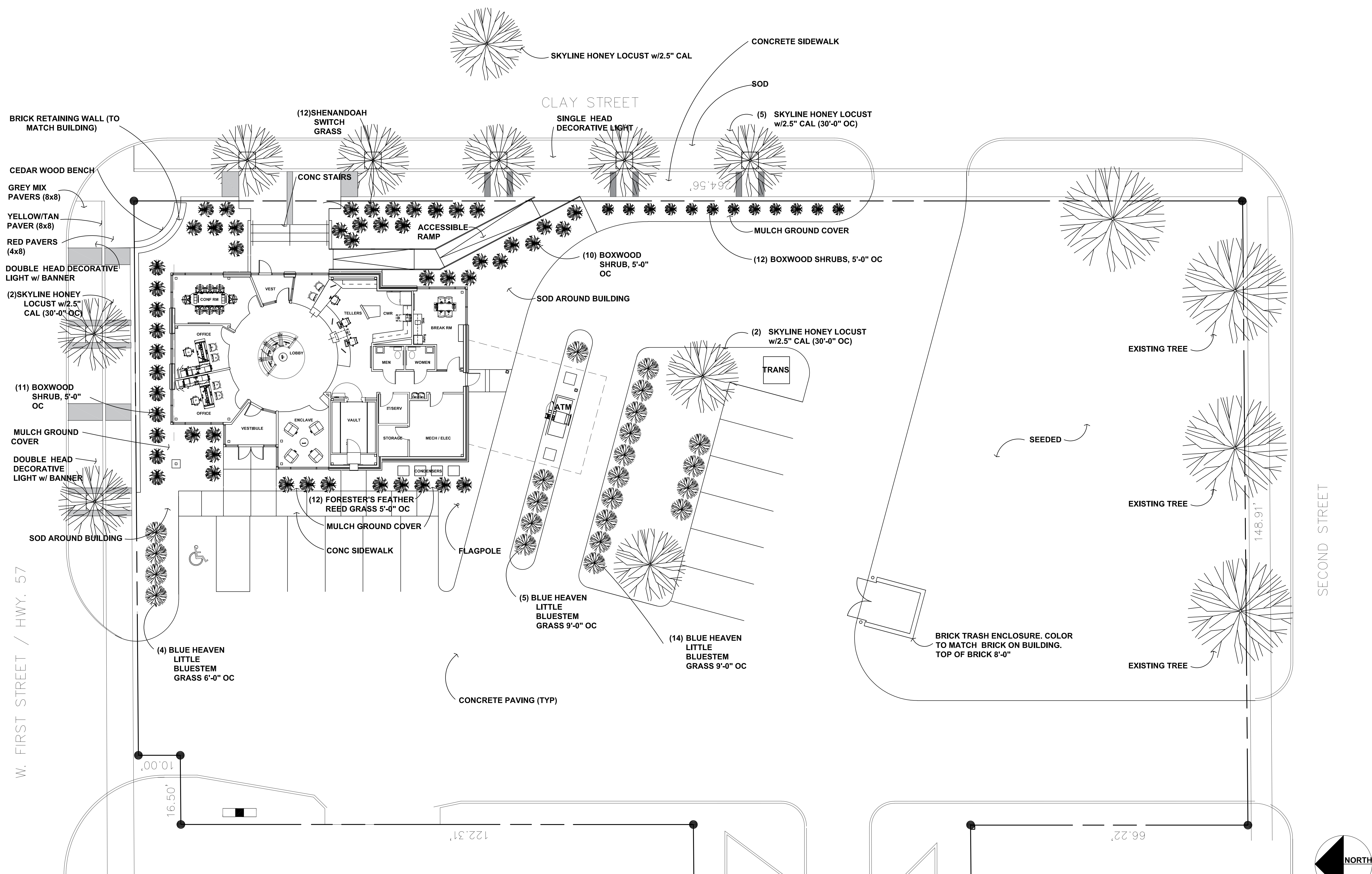
PROJECT NO.:

FILE NAME:

LANDSCAPE PLAN

SHEET NUMBER

L101

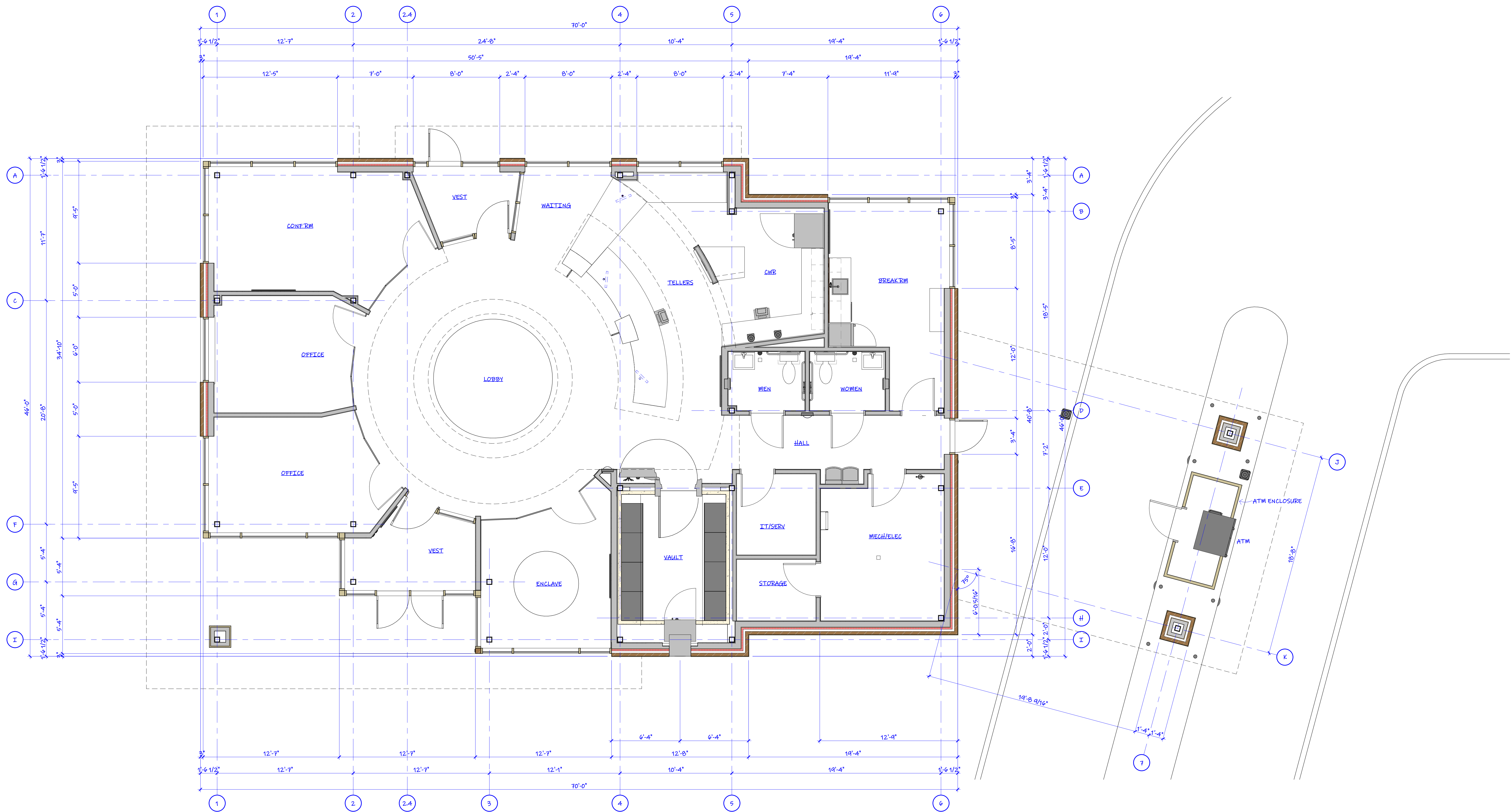




VIEW FROM CLAY STREET



VIEW FROM PARKING



1A FLOOR PLAN
1/4" = 1'-0"

DATE	DESCRIPTION OF REVISION
5/17/2020	PLANNING & EXISTING RESURMETTAL
5/19/2020	PLANNING & EXISTING RESURMETTAL
5/21/2020	PLANNING & EXISTING RESURMETTAL

DATE ISSUED:

MAY 28, 2020

DRAWN BY:

Author

CHECKED BY:

Checker

PROJECT NO.:

1731

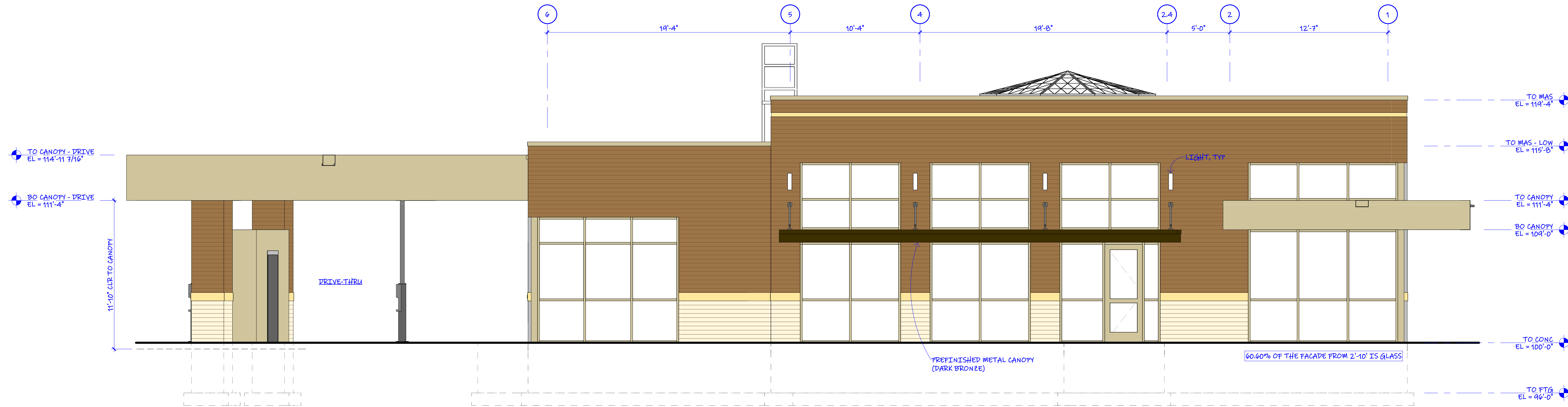
FILE NAME:

C:\Users\jacob@kg.com\Documents\1731 -
CB&T-central_jacobkgd.rvt

EXTERIOR
ELEVATIONS

SHEET NUMBER:

P201



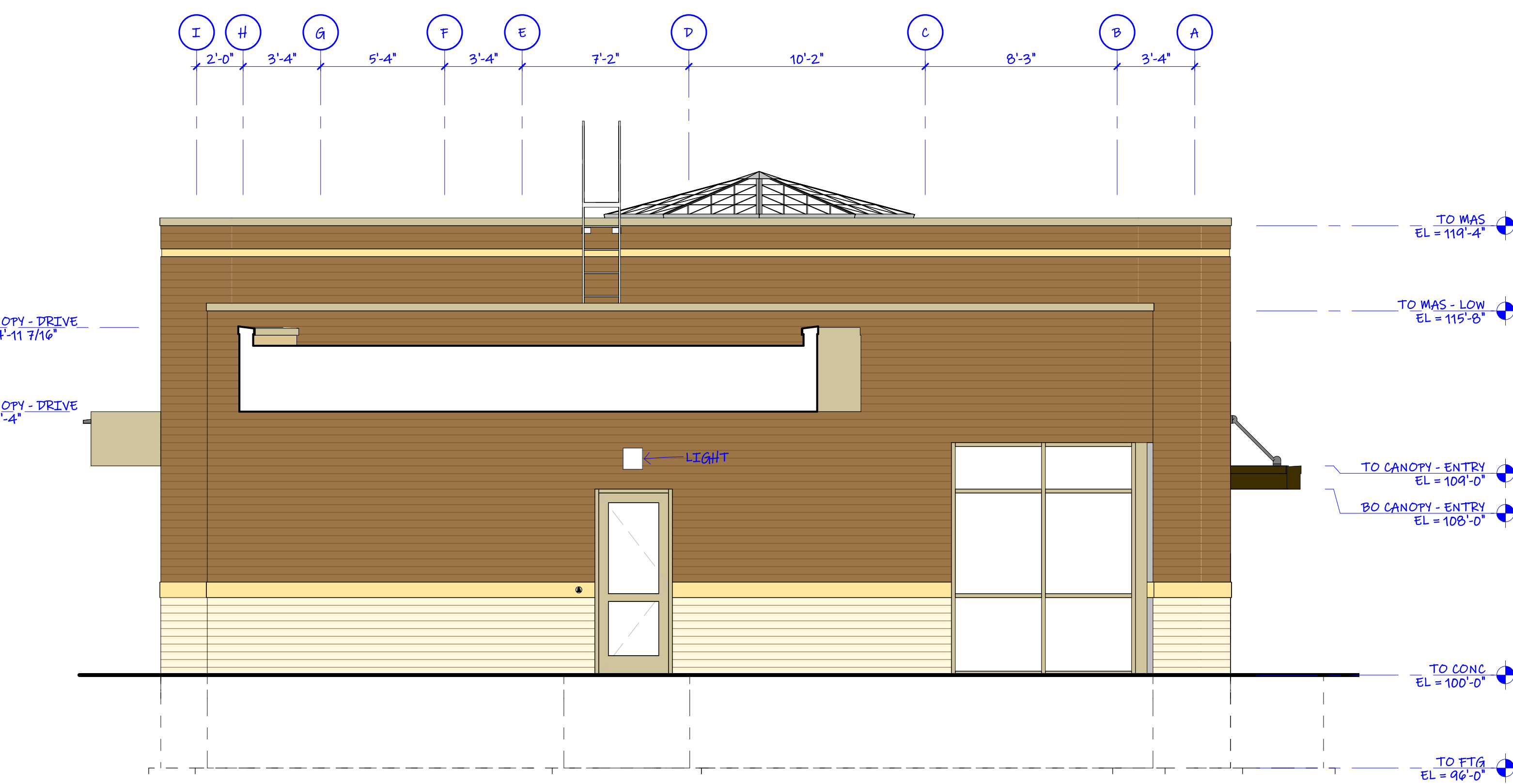
1E EAST EXTERIOR ELEVATION
1/4" = 1'-0"



1D NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



1A WEST EXTERIOR ELEVATION
1/4" = 1'-0"



1D SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"